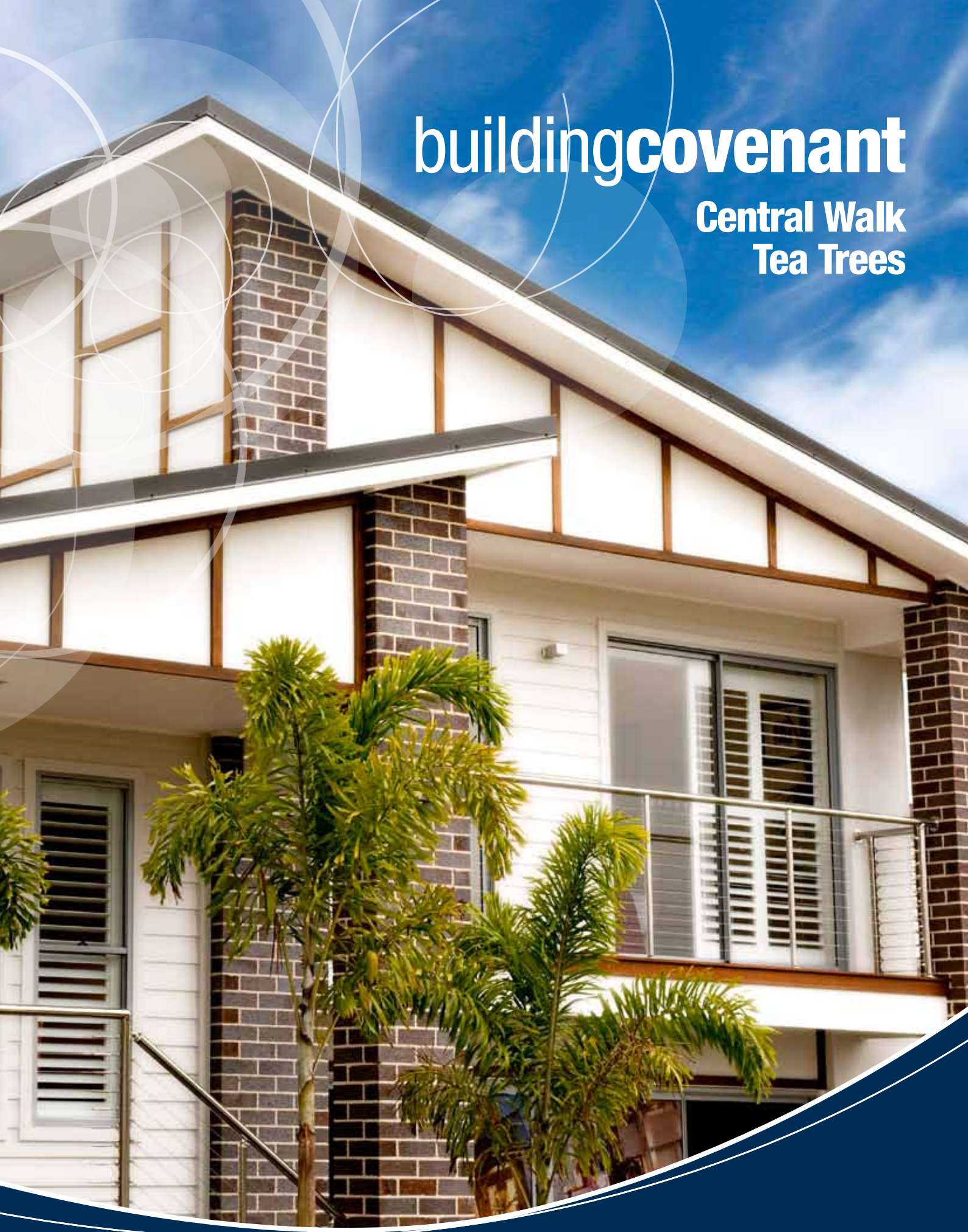


buildingcovenant

Central Walk
Tea Trees



Springfield LAKES



Lend Lease

introduction

Springfield Lakes is a place of unique beauty. From the parks, hike and bike trails and lakes, to the community facilities, education offerings, local shopping and dining precincts through to the quality housing options, Springfield Lakes is a great place to live.

A high level of attention to detail has been provided in the parks and streetscape elements of Springfield Lakes. Quality housing which complements these enhanced streetscapes within Springfield Lakes are based on the following set of Covenant guidelines:

- Homes are built in a variety of designs, styles, colours and materials;
- An attractive residential environment is achieved; and
- The early establishment of homes and landscaping.

Lend Lease administers these requirements on behalf of the Springfield Lakes community. The Covenant offers peace of mind, with the knowledge that your neighbours are expected to meet the same high standards.

Lend Lease encourages diverse, innovative and sustainable design solutions. An application seeking approval for a design that is not strictly within the Covenant requirements is encouraged and will be considered on architectural merit..


Please note that some Covenant requirements may vary between villages.

LODGING PLANS FOR COVENANT APPROVAL

You must apply for Covenant approval before starting construction of your home. Please make sure you include the following information in your application:

- Site plan, including:
 - setback dimensions (refer to your Building Setback Plan);
 - slope contours in AHD, extent of earthworks;
 - dwelling ground/pad and floor level information;
 - location of existing trees;
 - retaining wall details;
 - fencing details;
 - driveway details;
 - rainwater tank location.
- Landscape plan including:
 - garden bed areas
 - drying area
 - nominated rubbish bin location
 - letterbox location
- Floor plans and a schedule of areas in m²;
- Elevations and Sections with Natural Surface Level;
- Completed Application Form (see p10 of this document).

If you have any queries in relation to the Covenant, please contact the Lend Lease Design Support Team on **(07) 3280 2222**.

 Where this symbol appears within the checklist, words in bold have been defined in the glossary of terms on page 8 of this document.

COVENANT APPROVAL PROCESS

1 COVENANT REQUIREMENTS

The "Covenant" refers to requirements contained within the following legally binding documents:

- Building Covenant;
- Building Setback Plan;
- Special Conditions of your contract of sale
- Any 'Special Conditions' which relate to your block.

Please ensure that you have read all the requirements that relate to your block of land.

2 DESIGN ASSISTANCE

We strongly recommend that before you, your builder or your designer/architect prepares final drawings, you contact the Lend Lease Design Support Team at the Lend Lease Sales & Information Centre for a free design review service. Please call (07) 3280 2222 to make an appointment to discuss and review your plans and ideas.

3 COVENANT APPROVAL

Submit your Covenant application to Lend Lease Springfield Lakes for Covenant Approval.

You may email your Covenant Application in PDF format to springfieldlakesdesignsupport@lendlease.com.au OR

Post your Covenant application to:
Lend Lease Springfield Lakes
PO Box 4077
Springfield QLD 4300

Assessment of your complete Covenant application will usually take a maximum of 10 working days, after receipt of all information.

4 BUILDING APPROVAL

Lodge your Lend Lease Covenant approved house plans with a Private Certifier or Ipswich City Council for Building Approval. Once approved, you should now be ready to start building your home.

As per the Special Conditions of your Contract of Sale, you are required to have Lend Lease Covenant approval prior to Building Approval by Ipswich City Council.

your block

1

Building Time

The construction of your home must be completed within 18 months of settlement of the land. Landscaping must be completed within 6 months of occupation of the home.

2

Site Coverage

The maximum site coverage for your home is 60% for lots 600m² or less and 50% for lots greater than 600m² (unless approved otherwise for your particular allotment)

Reducing site coverage will increase the size of your open space.

3

Setbacks

The positioning of your home must comply with the **Building Setback Plan** contained in your Contract of Sale for your block. This includes requirements for **build to boundary** and required construction methods for sloping blocks.



4

Sloping Land

Where your land falls away from the street, at least 50% of the front wall of your home must be above or at level with the front property boundary at the mid point of your block. This is with the intent of housing on sloping land maintaining a built form presence to the street (other than the roof).

5

Construction Methods

For **elevated construction** the underside of flooring must be screened to minimise the visual impact of under floor services. This may be achieved through battening, landscaping or a combination of both.



6

Retaining & Earthworks

When planning and designing your house you should minimise the earthworks and retaining required. This will result in a number of benefits including better aspect to potential views, reduced impact on neighbours, existing structures and services (i.e. Zero boundary walls, retaining, fencing and neighbouring dwellings) and assisting drainage.

- Fill is not to be imported or exported to alter the **natural surface level** of your block prior to commencing earthworks for preparation of a building platform;
- The import or export of fill is acceptable within **brick build-up** and **split level construction**.



Retaining Wall Requirements

Lot Type	Earthworks	Villa	Premium Villa	Town Courtyard	Town Traditional	Maximum Retaining Height
				Courtyard	Traditional	
Front Boundaries	Cut Average	1	1.25	1.4	1.5	1.8*
	Fill Maximum height of 1m					1
Side Boundaries	Cut Average	0.5	0.6	0.7	1	1.8*
	Fill Average	0.5	0.6	0.7	1	1
Rear Boundary	Cut Average	1.5	1.5	1.5	1.5	1.8*
	Fill Maximum height of 1m					1

NB *A maximum height of 1.8m is acceptable only for 30% of the length of a retaining wall in cut. Front Boundary retaining is also subject to Requirement 4 - Sloping Land.

Combined Boundary Retaining Walls

It is recommended that you discuss with your neighbour a combined or shared retaining wall for your side/rear boundaries. The combined wall height allowed, is the sum of the average heights of the two lot boundaries but cannot exceed a maximum height of 1.8m.

Additional Retaining Wall Requirements

- Where side retaining walls protrude forward of the front building wall, they must be tapered to meet the finished ground line;
- Uncoloured masonry blocks are not permitted.
- Retaining walls constructed by Lend Lease must not be altered or removed without written permission by Lend Lease.
- Where a retaining wall adjoins a park or street frontage and a fence is to be located above the wall, one of the following treatments must be incorporated to improve appearance:
 - 500mm wide landscaped area planted with ground covers and/or shrubs between the wall and the fence; OR
 - use of an **open style fence**



your block

7

Outdoor Living Area

All homes must incorporate an outdoor living space which is located adjacent to indoor living areas.

Your outdoor living space must:

- Be a minimum single area of 16m² where provided on the ground floor; OR
- Be a minimum single area of 12m² where elevated (located above ground level).
- The size of this space must have a minimum dimension of 4m for ground level living; OR
- Be a minimum dimension of 2m for elevated living.
- The outdoor living area must have a slope no greater than 1:10 (10%).

It is strongly suggested that this outdoor living space incorporates a covered area of a minimum 12m² to provide greater functionality of your outdoor living space and increase the total living area of your home.

8

Maintenance

Prior to, during and after construction, you must ensure that your block is kept clear of excessive weeds and rubbish and maintained to an acceptable standard. Excavated material, rubbish or builder's waste must be stored in a bin, and must not be deposited on adjoining properties or in public areas during or after construction. As the owner of your block, you must ensure that your builder adheres to these requirements.

Use of temporary fencing around your block can help to ensure your block remains safe and free from rubbish

your home

9

Eaves to a depth of 450mm or more must be included to all walls of the home on Traditional and Town Traditional lots. All other lots must provide eaves to street and park frontages to a minimum depth of 450mm (For Town Cottage lots, eaves of a minimum 360mm are permitted). 

Where eaves are not provided at the head height of a window, window hoods must be incorporated to the unprotected windows on habitable rooms.

10

Roof Pitch



Hip and Gable Roofs

The following requirements apply for hip and gable roof forms only:

- A 25 degree roof pitch is the minimum standard for all lots excluding Traditional and Town Traditional lots;
- A 22.5 degree minimum roof pitch is permitted for Traditional and Town Traditional lots;
- A 20 degree roof pitch is permitted if eaves of at least 600mm are provided to all walls;
- A 35 degree roof pitch is the maximum permitted for all roofs;
- Verandah roofs with a reduced roof pitch may be considered on their merits.

Skillion Roofs


The following requirements apply for **Skillion roofs** only:


- Must have minimum pitch of 10 degrees and a maximum of 15 degrees for the main roof; 
- Are to include **eaves** to a minimum of 450mm; 
- Must not be attached to a hip roof to form part of the main roof unless the design can demonstrate architectural merit;
- More than one roof plane is encouraged and lower pitches may be considered where the span of the roof is more than 6.0m.

Flat or curved roof forms must demonstrate **articulation** and will be considered on architectural merit. 

11

Streetfront Design

All homes must also incorporate three of the following features to the **primary street frontage** of the home: 

- A covered entry to a minimum depth of 1.5m (measured to the back of the **fascia**); 
- Wall and roof alignment variation;
- Full height or three-quarter height front windows;
- Full length front verandah to a minimum depth of 1.5m;
- a highly visible and well defined front entry. (this includes suitable features such as front facing entry doors, oversized entry doors, gatehouse, separate pedestrian entry, feature walls defining entrance to the home).

12 Secondary Street and Park Frontages

Homes which have a secondary street frontage or are located directly adjacent to a park must be designed to address both frontages. To address either of these frontages, as well as incorporating windows that provide views from an internal living space to these public spaces the home must provide at least two of the following features to the relevant frontage:

- Decorative fencing (see No. 22 Streetfront Fencing / Decorative Fencing);
- A verandah, balcony, porch or terrace with pergola over, to a minimum depth of 1.5m (measured to the back of the fascia);
- Building recesses and projections with a minimum depth of 2.0m in plan;
- Feature windows (including decorative window hoods);
- Other features to enhance the **secondary street frontage** (e.g. Dutch gables, mixed use of complimentary materials).



For homes constructed on blocks with a secondary frontage at the rear of the home, as well as incorporating windows that provide views from an internal living space to the secondary street, the rear frontage of the home must incorporate a verandah or balcony under the main roof to a size of at least 6m² and a minimum width of 1.5m (measured to the back of the fascia).

13 Variation of Housing Style

Two homes with the same or similar elevations must not be established in close proximity. Close proximity is defined as being separation by three lots or less, whether on the same or opposite side of the street. The following differences must be achieved between each of the homes:

- Materials and/or colours;
- Entry design (e.g. differing porch/portico roof styles and support detailing);
- Window styles

In addition to the above items, 3 additional differences must be achieved from the following list:

- Verandahs
- Roof lines and Styles
- Garage door
- Front fence design
- Gable treatments
- Front door
- Colours of house and detailing items
- Driveway colour and detail

14 Two Storey Villa

Two storey villas (10m frontage) must have a highly visible street front entry, expressed with a minimum of two of the following elements:

- A double width entry door;
- An entry portico or porch to a minimum depth of 1.5m;
- A separate roof structure to a minimum depth of 1.5m;
- A gate house entry structure located between the home and the front property boundary;
- A separate pedestrian entry (not accessed from the driveway);
- Other treatments may be considered on their architectural merits.

In addition, the double garage must be located at least 50% under the dwelling and must incorporate at least one of the following elements:

- A verandah at first floor level projecting over at least 50% of the garage;
- A roof built over the garage to a minimum depth of 450mm;
- The first floor built out over the garage by a minimum depth of 1m;
- Other means that lessen the visual impact of the garage.

15 External Building Materials

The front façade of your home must not be dominated with the use of a single material. To assist in achieving this, no more than 70% of the front façade is to be of any one material. (Windows and front doors are counted as separate materials. For the purposes of this requirement garage doors are not counted as part of the facade).

Central Walk Building Material Requirements

For homes located in Central Walk, the following external material requirements are applicable:

- The front walls of your home must incorporate a minimum of 2 x materials or colours (excluding timber posts used as porch/portico supports, materials used in Dutch gable infills, windows and front doors);
- The selected additional material must cover an area no less than 30% of the front wall area;
- Town Cottages are exempt from this requirement. To stay consistent in detail to their colonial styling they are permitted to be constructed in a single material.

16 Prohibited Materials

No raw and/or untreated materials or finishes are permitted for external building works. This includes galvanised iron, zinc or aluminium coated steel, corrugated or unpainted fibre cement sheeting and bare, painted or uncoloured concrete block work.



your home

17 Car Accommodation

With the exception of Studio, Town Villa, Terrace, Gallery Collections, single storey Villa and Town Cottage blocks, the following car accommodation requirements apply:

- All lots must provide a double garage;
- A single garage is permitted only for the blocks listed above (tandem car accommodation is permitted);
- Triple garages may be acceptable if it can be demonstrated that they will not adversely impact on the streetscape and where alignment of the third garage is offset 2m or more;
- For Town Cottages or garages on specifically noted rear loaded product, a **carport** can be used as an alternative to a garage.



18 Garage Location

For all blocks, garages must not project forward of the **front building wall**. For single storey Villa and Town Cottage lots, the garage must be setback a minimum of 1.5m behind the **front building wall**.



19 Driveways and Footpaths

Only one driveway is permitted for each block and must:

- Not exceed a gradient of an average 1:5 (20%), or an absolute maximum of 1:4 (25%) including transition areas. (i.e. 1.0m transitions at each end of driveway with 1:8 grade);
- Be a maximum width of 5m at the property boundary;
- Be completed prior to occupation of your home;
- Not be constructed of plain concrete.

20 Landscaping

Landscaping complements the architectural style of the house and improves streetscape appearance through diversity. To achieve this outcome, the following landscape requirements must be incorporated:

- A minimum of 50% of the area between the front building line and the front boundary (excluding the driveway) must be a landscaped area other than turf.
- The table below sets out the minimum number of trees to be planted between the front boundary and the front building line:

Lot Type	Minimum Number of Trees
Traditional and Town Traditional	3
Courtyard and Town Courtyard	2
Premium Villa, Town Cottage, Villa, Terrace, Town Villa and Studio	1

- Trees are to be a minimum of 1m high when planted and suggest a minimum pot size of 300mm.
- The landscaped area is to include shrubs and groundcovers with the intent of providing 80% coverage of the landscaped areas.

21 Front Boundary Treatment

All front boundaries must have:


- A decorative front fence incorporating the house number and letterbox (Refer to No. 22. Street Front Fencing / Decorative Fencing); OR
- A boundary feature panel incorporating the house number and letterbox.

Feature panels must comply with the following:

- Panel height of 900mm - 1200mm;
- Panels to be of a minimum 300mm length;
- Panels must be of a material and colour complementary to the home;

22 Street front Fencing/Decorative Fencing

All fencing that is visible to the street front including front fencing, and side fencing forward of the front building wall must:

- Have a height of 0.9- 1.2m (Fencing up to 1.5m in height will only be permitted if it is an **open style fence** or is of architectural merit); 
- AND
- Must be decorative in style.

A fencing height of 1.8m will only be considered for decorative fencing provided to a secondary street frontage.

your home

Decorative fencing should complement the materials, colour scheme and design of the home. Decorative fencing may include:

- Rendered and painted masonry piers or painted or stained posts, with infill panels of coloured metal tube, painted or stained timber palings or horizontal battens;
- Timber paling fences will only be accepted if they are painted in a colour which complements the design of the home, and treated with decorative capping or trims and provide pronounced posts.

The use of corrugated pre-finished coloured metal (e.g. Colorbond), plain pool fences, concrete fences or non-decorative timber fencing is not acceptable as a decorative fence.

Where a decorative fence is required to be constructed above a retaining wall which adjoins a park or street frontage, one of the following treatments must be incorporated to improve the appearance

- A minimum of 500mm wide landscaped area planted with ground covers and/or shrubs between the wall and the fence.
- Use of an **open style fence**



your landscape

23 Side and Rear Boundary Fencing

Side and rear boundary fencing must comply with the following requirements:

- All side and rear fencing must be between 0.9 - 1.8m in height; AND
- terminate a minimum of 1.0m behind the **front building wall**.



Any fencing forward of the front building wall, or which is facing a street, park or lake frontage must be decorative in style (see No.22, Street front Fencing/Decorative Fencing).

Fencing erected by Lend Lease must not be altered, removed or modified in any way, without the prior written approval from Lend Lease.

24 Villa and Town Cottage Decorative Front Fencing

All Villa and Town Cottage homes must include a decorative streetfront fence which:

- Has a height of 0.9 - 1.2m;
- Is an **open style fence**;
- Returns to the **front building wall**;
- Town Cottage lots must have painted Colonial Picket style fencing.



25 Outdoor structures and Services

All outdoor structures (eg. hot water systems, gas bottles, air conditioning units, rainwater tanks etc.) and external services, including roof and wall mounted units must be suitably screened and from view of any street or public space.

26 Sheds

All sheds and outbuildings must be designed in a style, colour and materials complementary to the main dwelling. Sheds must comply with the following requirements:

- A maximum area of 10m²;
- Must not be located forward of the **front building wall**;
- Complies with the relevant Building Setback plan;



town cottage special requirements

Town Cottage homes offer the charm and character of traditional architecture combined with a low maintenance lifestyle. In addition to the preceding Covenant requirements, the following special requirements apply to Town Cottage homes.

1 Setbacks
Awnings, window hoods, or privacy screens attached to the side of the home are permitted within the side boundary setback area.

2 Town Cottage Dimensions
The Town Cottage should generally conform to the following inside and outside dimensions:

- 100mm tolerance from boundary to garage / carport;
- 3.5m single garage / 3.0m carport width;
- 7.6m house width (including a 1.3m wide entry/hall);
- 900mm minimum side setback; and
- 2.75m minimum ceiling height.

3 Front Verandahs
All Town Cottages must have a front verandah, which may face both the primary and secondary streets for corner blocks. The appearance of your verandah must complement the architecture of your home and must meet the following requirements:

- Be a total minimum area of 7.5m² with a minimum depth of 1.5m or 1.3m if it faces the **secondary street frontage**;
- The minimum clearance between the verandah floor and the fascia above must be 2.1m;
- The verandah roof should be separate from the main roof structure by a minimum of 240mm to allow for corbel detail;
- Flat skillion roofs less than 12.5 degrees pitch will not be permitted.



The following minimum detailing must be incorporated into your front verandah design:

- 100 x 100mm decorative timber posts, chamfered, fluted or turned;
- Decorative post shoes, squat profile;
- Post trims and corner brackets;
- Timber or pre-finished metal sheet fascia;
- D-type (half round) guttering and round down pipes (fixed with stand out bracket to verandah posts).

4 Roof Pitch
The main roof must have a minimum pitch of 29 degrees and a maximum pitch of 35 degrees.

5 Decorative Gable Trims
Any gable within direct view of a street, park or lake must be decorative with a roof overhang trim. Variety in decorative gable trims is encouraged.

6 Windows
Windows contained in the front elevation of your Town Cottage must be timber framed and unpainted, using one of the following styles:

- double hung;
- casement;
- French doors.

Front windows must not be covered by a security screen unless it is of a style reflecting of a Colonial Town Cottage. Where front windows are not protected by a verandah, complementary style window hoods must be provided.

7 Front Door
The Town Cottage front door must be a moulded solid timber door which incorporates either glass insert panels, a sidelight, leadlight or a combination of these.

8 External Building Materials
For external building materials please refer to No. 15 of the Building Covenant. If render is selected as the primary finish, raised masonry detailing must be incorporated around the front windows, door and corners of the home in the form of banding and quoining.

9 Car Accommodation
Single storey Town Cottages must include a single carport or garage only, which must be setback 1.5m behind the front building wall and must include screening to the rear of the carport.

For a Two Storey Town Cottage, a double garage is to be provided which must be located at least 50% under the dwelling. The following requirements apply:

- Double garages must be setback a minimum of 5m from the front boundary;
- Garage doors must be setback a minimum of 230mm from the front garage walls;
- The two garages must be separated by a pillar and constructed as two separate garage doors;
- Double garages must be constructed using roller doors, timber battening, or other similar materials to match the underside of your home;
- Corner lots may provide driveway access from the **secondary street frontage**, gradient permitting.

town cottage special requirements

10

Two Storey Town Cottages

Two Storey Town Cottages must comply with the following requirements:

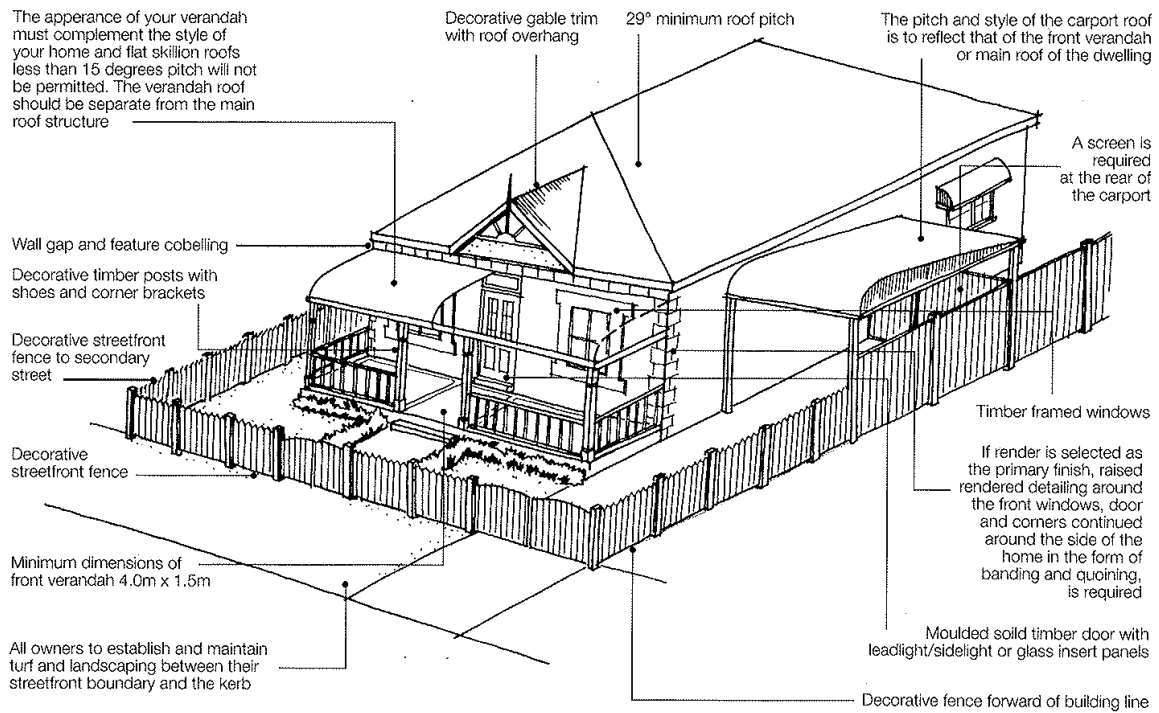
- The front entry at ground level must be expressed with the use of an entry portico, gable roof over, external stairway or an entry porch. Other treatments may be considered on merit;
- A covered verandah at first floor level must be provided with a minimum area of 5m x 1.5m;

11

Town Cottage Completion

The following items must be included as part of the Town Cottage package and must be completed prior to occupation of the home:

- Front landscaping, including the footpath and secondary frontage;
- Any retaining walls;
- Driveway and front path;
- All fencing. Town Cottages must include a front fence of 0.9 – 1.2m height, which must be in a painted Colonial Picket style.



glossary of terms

Articulation as used in this document, refers to the distribution and variation of elements in a building facade to create visual interest and character. Articulation may be achieved through incorporating building elements such as balconies, verandahs, pergolas, varying setbacks, window shades, awnings and feature walls in combination with a variety of building finishes, textures, and materials.

Brick Build Up construction refers to where the external walls of the house act as the retaining so that the concrete slab is one level and the external walls are extended to meet natural ground level. This type of construction reduces the external retaining wall requirement as most of the retaining is contained within the house construction.

A **Build to boundary** line refers to a boundary, as nominated on the building setback plan, where a building can be positioned right up to the boundary of the lot. In other words, there is no setback required from the boundary of the lot to the wall of the building.

The **Building Setback Plan** details the required setbacks (the minimum distance between the lot boundary and outermost projection of any structure) for each allotment. A copy of this plan is included with your sales contract.

A **Carpport** is defined as a car accommodation space where two sides or more are open and not less than one-third of its perimeter is open.

Cut refers to excavations on a block, where material is dug out and removed to create a level surface, whereas fill describes the process of importing or moving material on a block, again to create a level surface for building on.

Elevated construction is defined as floor structures which are suspended off the ground and are supported by either posts or, in some cases, poles. This form of construction offers design flexibility as the level of the floor is dictated by the height of the posts, and not by the slope.

Eaves are the portion of a roof that overhangs the external wall of the house.

A **Fascia** is a flat horizontal board used to conceal the end of roof rafters.

The **Front Building Wall** is measured as the main front wall of the home. It excludes eaves, awnings, verandahs, balconies, porches, entry or shade structures.

A **garage** is defined as a roofed car accommodation area that is fully enclosed on all sides including the street front.

Natural surface level is defined as the ground level of your block at the time of registration.

An **open style fence** is a style of fence having no more than 50% of solid materials in its construction. This style of fence can also be described as being transparent. Examples include fences using battens or pickets with gaps between, and pool or railing style fences.

Outermost projection is defined as the most outer point of a building or structure. In the case of a roof, this applies to the outside face of a fascia, but does not include retractable blinds, fixed screens, rainwater fittings or ornamental attachments.

A **Porch** is a covered platform usually having a separate roof structure at an entrance to a building.

For corner allotments, the **primary street frontage** is defined as the streetfront elevation which contains the front door, letter box and street number to your home. The side elevation is known as the **secondary street frontage**.

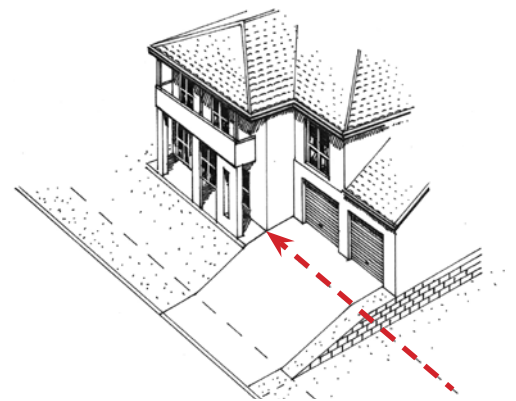
Site coverage is expressed as a percentage of the area of your block the footprint of your home covers. The total area/footprint of your home includes enclosed spaces including the outside wall and unenclosed spaces where covered to a line 600mm in from the perimeter of the covered space.

Split Slab construction involves providing a step in the slab to a minimum height of 360mm. This is with the intent of better aligning the house slab with the natural slope of the land. Careful consideration is required for locating an appropriate place to step the slab, this is dependent on the slope, internal room arrangement and the roof design of the home.

A **Skillion roof** is a sloping roof without a ridge or a peak.



Building Articulation



Front Building Wall



Primary Elevation



Skillion Roof

ANY QUESTIONS ?

Please contact the Design Support Team at the Lend Lease Sales and Information Centre on **(07) 3280 2222**.

Please sign below to indicate that you have read the Building Covenant, understand the requirements and will comply with this Covenant document as required by the condition of your land contract.

Lot : _____

Stage : _____

Name : _____

Signature : _____

Date : _____

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Creating Special Places

For over 50 years now, Lend Lease has been creating communities that define the way Australians like to live.

Truly beautiful places planned to maximise the things we love about our unique way of life.

Places that are designed for the way we live today, yet ever mindful of our responsibilities for how we will live tomorrow; with real opportunities in housing choice, education, work and healthy recreation built in from the very beginning.

We believe everyone who comes and experiences our places should feel safe within a welcoming community that will grow and prosper into the future.

We lead by example. Across the country, communities that we are responsible for continue to flourish, nurturing the very essence of what we believe for generations to come.

These are the places that make us proud.



Ms Toni Milis

Head of Communities
Lend Lease



Springfield LAKES

Lend Lease Sales & Information Centre
Springfield Lakes Boulevard, Springfield Lakes
Phone: (07) 3280 2222
Fax: (07) 3280 2286
www.springfieldlakes.com.au