

Where life flows

WATERSIDE

the  
at Promenade

BUILDING COVENANT

# introduction

Waterside at The Promenade is a contemporary village within Springfield Lakes which has many lifestyle attractions to offer. It's exclusive waterfront address, ridgeline views, close proximity to the Lakes Oval and hike & bike trails, make Waterside an enviable place to live and enjoy the best of Springfield Lakes.

A high level of attention to detail has been provided in the parks and streetscape elements of Waterside. Quality housing which compliments these enhanced streetscapes are based on the following set of Covenant guidelines:

- homes are built in a variety of contemporary designs, and finishes;
- a high quality residential environment is achieved; and
- the early establishment of homes and landscapes.

Delfin Springfield Lakes administers these requirements on behalf of the Waterside community. The Covenant offers peace of mind, with the knowledge that your neighbours are expected to meet the same high standards.

Delfin encourages diverse, innovative and sustainable design solutions. An application seeking approval of something that is not strictly within the design requirements will be considered on its merits.

## Lodging Plans for Covenant Approval


To approve your plans, please make sure you include the following information in your submission:

- Site plan, including:
  - setback dimensions;
  - contour and level information;
  - extent of cut and fill;
  - location of existing trees;
  - retaining wall details;
  - fencing details;
  - driveway details.
- Floor plans and a schedule of areas in m<sup>2</sup>;
- Elevations and sections with natural surface level;
- A schedule of external building materials and colours;
- Proposed Landscape Plan and Plant Species;
- Completed Application form (see back of booklet).

Please note without all of the above information your application cannot be assessed. If you have any queries in relation to the Covenant, please contact the Delfin Design Support Team on **(07) 3280 2222**

## Design Requirements Checklist

The following pages contains your checklist of the Covenant requirements for Waterside.

-  **highlighted in grey** have been defined in the glossary of terms on page 9 of this document.

## COVENANT APPROVAL PROCESS

### 1

#### COVENANT REQUIREMENTS

The Covenant consists of the following legally binding documents:

- Building Covenant;
- Building Setback Plan; and
- Any 'Special Requirements' which relate to your block.

Please ensure that you read all the requirements that relate to your block of land. You may also like to refer to [www.yourhome.gov.au](http://www.yourhome.gov.au) for additional design and siting recommendations and ideas.

### 2

#### FREE DESIGN REVIEW

We strongly recommend that before you, your builder or your designer/architect prepares final drawings, you contact the Delfin Design Support Team at the Delfin Sales and Information Centre for a free preliminary design review service. Please call **(07) 3280 2222** to make an appointment to discuss and review your plans and ideas.

### 3

#### COVENANT APPROVAL

Submit your house plans complete with the information listed and application form to Delfin Springfield Lakes for Covenant Approval.

Send your Covenant application to:

**Delfin Springfield Lakes**  
**PO Box 4077**  
**Springfield QLD 4300**

or email in PDF format to:

**[springfieldlakesdesignsupport@lendlease.com.au](mailto:springfieldlakesdesignsupport@lendlease.com.au)**

Assessment of your complete Covenant application will usually take a maximum of 10 working days, after receipt of all information.

### 4

#### BUILDING APPROVAL

Lodge your Delfin Covenant approved house plans with a private certifier for final building approval. Once approved, you should now be ready to start building your home.

# your block

**1 Building Time**  
The construction of your home within Waterside must be completed within 18 months of settlement of the land.

**2 Site Coverage**  
The maximum **site coverage** for your home is 60% for lots 600m<sup>2</sup> or less and 50% for lots greater than 600m<sup>2</sup>.



**3 Setbacks**  
The positioning of your home must comply with the Building Setback Plan contained in your land contract. Setbacks are measured to the **outermost projection**, unless specified otherwise.



**4 Build to Boundary (optional)**  
If a structure is built to a 'build to boundary' line nominated on the setback plan, it must have:

- A minimum of 6m of wall abutting the boundary;
- A maximum of 15m or 50% of any structure built to the property boundary (the lesser of the two);
- A maximum height of 4.5m or average height of 3.5m from **natural surface level**;
- The wall must be located within 200mm of the 'build to boundary line'.

The portion of house not built to the boundary must comply with the relevant side setback requirements for your block.



**5 Building Height**

- All homes within The Promenade must have a minimum ground floor ceiling height of 2.7m for all habitable rooms.
- The total building height of your home must not exceed 8.5m measured vertically from **natural surface level** to the peak of your roof structure.



**6 Sloping Land**  
For all housing on sloping land, the dwelling must maintain a built form presence (other than the roof) to the street. Where your land falls away from the street, at least 50% of the front wall of your home must be above or at level with the front property boundary at the midpoint of your block. This is with the intent of housing on sloping land maintaining a built form presence to the street (other than the roof).



**7 Construction Methods**  
If your block has been denoted with # on the Building Setback Plan, slope responsive building methods such as **elevated construction, split slab construction, brick build up construction** or a combination of these are required to minimise the amount of earthworks necessary and the impact on neighbouring land. The following requirements apply:

- The minimum step in a split slab is 360mm.
- The maximum height of brick-up base construction where directly visible to the street is 1.0m. Heights up to 1.5m will be permitted if incorporated with significant landscaping.
- For elevated construction the underside of flooring must be screened to minimise the visual impact of under floor services. This may be achieved through battening, landscaping or a combination of both.

**8 Retaining & Earthworks**  
When planning and designing your house you should minimise the earthworks and retaining required. This will result in a number of benefits including better aspect to potential views, reduced impact on neighbours, existing structures and services (i.e. Zero boundary walls, retaining, fencing and neighbouring dwellings) and assisting Drainage.



- Fill is not to be imported or exported to alter the **natural surface level** of your block prior to commencing earthworks for preparation of a building platform;
- The import or export of fill is acceptable within **brick build-up** and **split level construction**.



# your block

## Retaining Wall Requirements

| Lot Type            | Earthworks                | Villa/<br>Town<br>Villa | Premium Villa | Town Courtyard | Town Traditional | Maximum<br>Retaining<br>Height |
|---------------------|---------------------------|-------------------------|---------------|----------------|------------------|--------------------------------|
|                     |                           |                         |               | Courtyard      | Traditional      |                                |
| Front<br>Boundaries | Cut Average               | 1                       | 1.25          | 1.4            | 1.5              | 1.8*                           |
|                     | Fill Maximum height of 1m |                         |               |                |                  | 1                              |
| Side<br>Boundaries  | Cut Average               | 0.5                     | 0.6           | 0.7            | 1                | 1.8*                           |
|                     | Fill Average              | 0.5                     | 0.6           | 0.7            | 1                | 1                              |
| Rear Boundary       | Cut Average               | 1.5                     | 1.5           | 1.5            | 1.5              | 1.8*                           |
|                     | Fill Maximum height of 1m |                         |               |                |                  | 1                              |

\*A maximum height of 1.8m is acceptable only for 30% of the length of a retaining wall in cut.

NB: Front Boundary retaining is also subject to Requirement 4 - Sloping Land.

### Combined Boundary Retaining Walls

It is recommended that you discuss with your neighbour a combined or shared retaining wall for your side/rear boundaries. The combined wall height allowed, is the sum of the average heights of the two lot boundaries but cannot exceed a maximum height of 1.8m.

### Additional Retaining Wall Requirements

- Where side retaining walls protrude forward of the front building wall, they must be tapered to meet the finished ground line;
- Uncoloured masonry blocks are not permitted;
- Retaining walls constructed by Delfin must not be altered or removed without written permission by Delfin;
- Where a retaining wall adjoins a park or street frontage and a fence is to be located above the wall, one of the following treatments must be incorporated to improve appearance:
  - 500mm wide landscaped area planted with ground covers and/or shrubs between the wall and the fence; OR
  - use of an **open style fence**.



Retaining walls constructed of round boulders, timber sleepers, crib split face or interlocking blocks are not permitted on the street, park or lake frontages in Waterside. Flat split face interlocking block walls will be considered on their merits if incorporated with significant landscaping in front.

## 9 Outdoor Living Area

All homes must incorporate an outdoor living space which is located adjacent to indoor living areas. Your outdoor living space must:

- Have a minimum single area of 25m<sup>2</sup> where provided on the ground floor; or
- Have a minimum single area of 12m<sup>2</sup> where elevated (located above ground level).
- The size of this space must have a minimum dimension of 4m for ground level living; or
- Have a minimum dimension of 2m for elevated living.
- The outdoor living area must have a slope no greater than 1:10 (10%).

Your outdoor living space must incorporate a covered area. The covered outdoor living area must achieve a minimum area of 9m<sup>2</sup>.

# your block

## 10 Maintenance

Prior to, during and after construction, your lot must be kept clear of excessive weeds and rubbish and maintained to an acceptable standard. Excavated material, rubbish or builders waste must be stored in a bin, and must not be deposited on adjoining properties or in public areas during or after construction. As the owner of your block, you must ensure that your builder adheres to these requirements.

# your home

## 11 Eaves

All homes within Waterside must have **eaves** to a minimum depth of 450mm to all street, park and lake frontages. For parapet walls and / or wall openings where eaves cannot be achieved within 300mm of the head height of a window, wall openings must incorporate external shade structures, window hoods, shutters, sliding louvered screens, or similar shading treatment to achieve vertical or horizontal articulation.



## 12 Roof Pitch

### *Hip and Gable Roofs*

The following requirements apply for hip and gable roof forms only:

- Single storey homes must have a minimum pitch of 25 degrees;
- Two storey homes are permitted to have a 20 degree roof pitch;
- A maximum roof pitch of 35 degrees is applicable for all homes;
- Verandah roofs with a reduced roof pitch may be considered on their merits;
- Dutch gables are not permitted within Waterside.

### *Skillion Roofs*

Where **Skillion roofs** are incorporated they must:

- Have a minimum pitch of 10 degrees for the main roof;
- Not be attached to a hip roof to form part of the main roof;
- Include significant **eaves** (a minimum of 450mm).



More than one roof plane is encouraged and lower pitches may be considered where the span of the roof is more than 6.0m.

Flat roofs (roofs with a roof pitch less than 10 degrees) will be considered on architectural merit and must provide adequate articulation of the roof as well as the front facade of the home.

## 13 Roof Materials

All homes within Waterside must use one of the following roofing materials:

- Flat profile roof tiles; OR
- Corrugated prefinished metal sheets (eg. Colorbond).

Square profile gutters are not permitted.

## 14 Streetfront Design

All homes within Waterside must be designed to provide a pedestrian entry from the street which is separate from the driveway, and must also incorporate the following features to the **primary frontage** of the home:

- A verandah, balcony, **porch/portico** or terrace with pergola over, to a minimum width of 1.5m (measured to the back of the **fascia**).



In addition, all Traditional and Town Traditional blocks must include:

- A gatehouse, **portico** or arbor over the separate pedestrian entry.



# your home

## 15 Lakefront, Parkfront and Secondary Frontages

Homes constructed on Lakefront, Parkfront and dual street front blocks must be designed to address all frontages with a direct visual from a public space. These frontages must include windows from living spaces that provide views to the lake, park or secondary street.

In addition to the above requirements, the building elevation facing these public areas must incorporate at least two of the following features:

- Decorative street front fencing or hedging (refer to No. 23 Decorative Fencing);
- Feature window treatments;
- A significant architectural feature within the roof line;
- Building recesses and projections with a minimum depth of 2.0m;
- Other features will be considered if it can be demonstrated that they provide interest to enhance the relevant frontage (e.g. mixed use of complimentary materials).

On corner lots, driveways and garages accessing from the **secondary street frontage** are encouraged. Where this occurs the separate pedestrian entry will be required on the **primary street frontage**.



## 16 Variation of Housing Style

Two homes with the same or similar elevation must not be established in close proximity. Close proximity is defined as being separation by three lots or less, whether on the same or opposite side of the street. Where this occurs, to overcome this the following three differences must be achieved between each of the homes:

- Materials and/or colours;
- Entry design (e.g. differing porch/portico roof styles and support detailing);
- Window styles.

In addition to the above items, three additional differences must be achieved from the following list

- Verandahs
- Roof lines and styles
- Garage door
- Front fence design
- Gable Treatments
- Front Door
- Colours of house and detailing items
- Driveway colour and detail

## 17 Two Storey Villas (including Town Villas)

All homes proposed on Villa blocks located within Waterside must be Two Storey.

Two Storey Villas must have a prominent street front entry, expressed with a minimum of two of the following elements:

- A double width entry door;
- An entry **portico** or **porch** to a minimum depth of 1.5m;
- A separate roof structure to a minimum depth of 1.5m;
- A gate house entry structure located on the front property boundary;
- A separate pedestrian entry (not accessed from the driveway).

Other treatments may be considered on their merit.

In addition, all Two Storey Villas must incorporate a double garage. This garage is to be located at least 50% under the dwelling and must incorporate at least one of the following elements:

- A verandah of a minimum 1.0m depth at first floor level projecting over at least 50% of the garage;
- A roof built over the garage to a minimum depth of 450mm;
- The first floor built out over the garage by a minimum depth of 1m;
- Other features will be considered if it can be demonstrated that they lessen the visual impact of the garage.



## 18 External Building Materials

A selection of external building materials and colours which add variety and complement the style of architecture must be used. All homes within Waterside must have a **rendered** finish to all masonry external walls, and may incorporate the following materials as a feature element:



- One colour block, split, honed or polished;
- Feature stone;
- Prefinished metal feature panelling with lightweight battens;
- Light weight cladding suitably painted or stained (e.g. weatherboard, plywood).

Alternative materials may be permitted and will be considered on architectural merit. Homes built with a majority of lightweight materials may be considered in place of a render finish if the design can demonstrate adequate articulation and will again be based on architectural merit.

Bagged and painted finishes are not acceptable within Waterside.

Unfinished or untreated materials, as well as painted or pre-coloured concrete block work are also not permitted for any external building works.

All homes must have concealed drainage (excluding rainwater downpipes) and vent pipes below the eaves line.

## 19 Garages

All homes must provide a double garage and must be designed to not project forward of the front building wall.

Garage doors are required to be of a flush finish. i.e. Windows and ribs incorporated into the garage door are not permitted.

Triple garages may be acceptable if it can be demonstrated that they will not adversely impact on the streetscape and where alignment of the of the third garage is offset 2m or more.

## 20 Driveways and Footpaths

Only one driveway is permitted for each block and must:

- Not exceed a gradient of an average 1:5 (20%), or an absolute maximum of 1:4 (25%) including transition areas. (i.e. 1.0m transitions at each end of driveway with 1:8 grade);
- Be a maximum width of 5.0m at the property boundary;
- Be completed prior to occupation of your home;
- Not be constructed of plain or stencilled concrete (including grey coloured concrete);
- Car tracks are not permitted.

## 21 Parking

Boats, caravans or any trailered vehicles must not be located forward of the front building wall. If you are intending on storing such items, you should consider allowing for storage/parking space within the design of your home, or otherwise allowing sufficient space to locate these items at the rear of your home.

# your landscape

## 22 Front Boundary Treatment

All homes within Waterside must have a **rendered** feature panel within the front setback of the home, which complies with the following:

- Panel height of 900mm - 1200mm;
- Minimum 1.5m length of panels;
- Panels must contain a house number and letterbox;
- Panels must be of a colour complementary to the home.

A standalone feature panel will not be required if you construct a decorative street front fence, however a letterbox and street number must still be incorporated into the design of the fence which should also be of a colour complimentary to the home.



## 23 Decorative Fencing

Decorative fencing must not exceed a maximum height of 1.5m and must continue 1m behind the **front building wall**. Where required above a retaining wall with combined height of more than 2.0m the decorative fence must be setback a minimum of 500mm and incorporate landscaping between the fence and top of retaining. The style of fencing chosen should complement the external colour selection and design of the home.



Decorative front fencing may consist of:

- Rendered and painted masonry piers, with infill panels of coloured metal tube, painted or stained timber palings or horizontal battens. Rails on timber infill panels must be hidden from street front view.
- Landscaping including the use of hedges, boundary planting and earth mounding.

Fencing to secondary street frontages must also be decorative in style, however are permitted up to a maximum height of 1.8m with timber post supports.

## 24 Villa Decorative Front Fencing

All 10 metre frontage blocks must include a decorative streetfront fence which:

- Has a maximum height of 1.2m;
- Has a maximum solid wall area not exceeding 50%;
- Returns to the **front building wall**.



## 25 Side and Rear Fencing

Fencing erected by Delfin must not be altered, removed or modified in any way, without the prior written approval from Delfin. All side and rear fencing must:

- Be a maximum of 1.8m in height;
- Finish a minimum of 1.0m behind the **front building wall**.

Any fencing forward of the **front building wall**, or which is facing the street, park or lake frontage must be decorative in style (refer to No.23 Decorative Fencing).



The use of corrugated prefinished and coloured metal (eg. Colorbond), plain pool or concrete fences are not permitted for fencing along any property boundaries within Waterside.

## 26 Landscaping

Landscaping around your home complements the architectural style of the house and enhances streetscape appearance through diversity. To help achieve this outcome, the following landscape requirements apply:

- A minimum planting criteria must be incorporated within the front setback of your block as per the table on the following page;
- Secondary street frontages must also be landscaped with a minimum of 30% of the total plant numbers required in the table;

For all homes within Waterside a Landscape Plan must be prepared and submitted with your application for Covenant approval indicating planting requirements as applicable for your block.

# design checklist

| Lot Type                | Min. No of Trees | Min. No of Shrubs <1m high | Min. No of Shrubs >1m high | Min. No of Ground Covers | Min.Planting Bed Area m <sup>2</sup> |
|-------------------------|------------------|----------------------------|----------------------------|--------------------------|--------------------------------------|
| Plants / m <sup>2</sup> | -                | 3                          | 1.5                        | 4                        | -                                    |
| 20m frontage            | 3                | 16                         | 27                         | 30                       | 30                                   |
| 14m frontage            | 2                | 9                          | 16                         | 18                       | 18                                   |
| 12.5m frontage          | 1                | 8                          | 14                         | 15                       | 15                                   |
| 10m frontage            | 1                | 7                          | 13                         | 14                       | 14                                   |
| 7.5m frontage           | 1                | 6                          | 11                         | 12                       | 12                                   |

|              | Min. Pot Size | Height at Maturity | Spread at Maturity | Min. Height at Planting |
|--------------|---------------|--------------------|--------------------|-------------------------|
| Ground Cover | 125 - 140mm   | 0.2 - 1m           | -                  | -                       |
| Shrubs       | 125 - 300mm   | 1 - 2.5m           | 0.5 - 2.5m         | -                       |
| Trees        | 25 - 100L     | Min 4m             | Min 3m             | 1m                      |

Landscape Design should consider water conservation, long term maintenance and storm water runoff. Garden bed areas require less water than lawn, the following table indicates minimum plant bed areas and number of plants which must be included within the front landscape of your home. Please note Palms are not considered as trees.

## 27 Sheds

All sheds and outbuildings must be designed as an integrated element of the home in a style, colour and materials complementary to the architecture of the main dwelling.

Sheds must comply with the following requirements:

- A maximum area of 10m<sup>2</sup>;
- Must not be located forward of the **front building wall**;
- Complies with the relevant Building Setback plan;
- Unfinished metal sheds are not permitted.



## 28 Outdoor Structures and Services

All outdoor structures (e.g. hot water systems, gas bottles, air conditioning units, rainwater tanks e.t.c) and external services, including roof and wall mounted units must be suitably screened and located to minimise visual impact from any street or public space.

### ANY QUESTIONS ?

Please contact the Design Support Team at the Delfin Sales and Information Centre on (07) 3280 2211.

Please sign below to indicate that you have read through the Waterside at The Promenade Building Covenant, understand all the requirements and will comply with this covenant document as required by the condition of your land contract.

Lot : \_\_\_\_\_

Stage : \_\_\_\_\_

Name : \_\_\_\_\_

Signature : \_\_\_\_\_

Date : \_\_\_\_\_

# plant species list

## GROUND COVERS

Kangaroo Paw  
Prostrate Coastal Banksia  
Little John  
Flax Lily  
Butterfly Iris  
Wild Iris  
Seaside Daisy  
Blue Eyes  
Bronze Rambler  
Royal Mantle

Anigozanthos flavidus  
Banksia integrifolia prostrate  
Callistemon "Little John"  
Dianella revoluta  
Dietes bicolour  
Dietes grandiflora  
Erigeron karvickianus  
Evolvulus pilosus  
Grevillea "Bronze Rambler"  
Grevillea "Royal Mantle"

Purple Coral Pea  
Paper Daisy  
Yellow buttons  
Evergreen Giant  
Turf Lilly  
Mat rush  
Slender Mat rush  
Creeping boobiallia  
Kangaroo Grass  
Fairy fan flower

Hardenbergia violacea  
Helichrysum bracteantha  
Helichrysum ramosissimum  
Liriope "Evergreen Giant"  
Liriope muscari  
Lomandra longifolia  
Lomandra hystrix  
Myoporum parvifolium  
Pennisetum alopecuroides  
Scaevola aemula

## SHRUBS

Abelia  
Midyim  
Weeping Myrtle  
Weeping Heath Myrtle  
Coast Banksia  
Hairpin Banksia  
Great Balls of Fire  
Kings Park Special  
Weeping Bottlebrush  
Coconut Ice  
Forest Rambler  
Honey Gem  
Ivanhoe

Abelia grandiflora  
Austromyrtus dulcis  
Baeckea "Clarence River"  
Baeckea Virgata "Mt Tozer"  
Banksia integrifolia  
Banksia spinulosa var Collina  
Callistemon "Great Balls of Fire"  
Callistemon "Kings Park Special"  
Callistemon viminalis "Captain Cook"  
Grevillea "Coconut Ice"  
Grevillea "Forest Rambler"  
Grevillea "Honey Gem"  
Grevillea "Ivanhoe"

Robyn Gordon  
Superb  
Cardwell  
Pacific Beauty  
NZ Tea Tree  
Claret Tops  
Thyme Honey Myrtle  
Lilly Pilly  
Powder Puff Lilly Pilly  
Jules  
Dwarf Coastal Rosemary  
Coastal Rosemary

Grevillea "Robyn Gordon"  
Grevillea "Superb"  
Leptospermum "Cardwell"  
Leptospermum "Pacific Beauty"  
Leptospermum "Pink Cascade"  
Melaleuca "Claret tops"  
Melaleuca thymifolia  
Syzygium "Cascade"  
Syzygium wilsonii  
Tibouchina "Jules"  
Westringia "Zena"  
Westringia Wynyabbie Gem

## TREES

Brisbane Wattle  
Narrow leaf Lillypilly  
Black She Oak  
Sydney Red Gum  
Hoop Pine  
Lemon Scented Myrtle  
Flame tree  
Ivory Curl  
Leopard Tree  
River Oak  
Swamp Oak  
Pink Bloodwood  
Moreton Bay Ash  
Spring bloodwood  
Tuckeroo  
Hard Quandong  
Blueberry Ash  
  
Brilliant Orange  
Summer Beauty  
Summer Red  
Lemon Scented Gum  
Narrow Leaf Ironbark

Acacia fimbriata  
Acmena smithii  
Allocasuarina littoralis  
Angophora costata  
Araucaria cumminghamii  
Backhousia citriodora  
Brachychiton acerifolius  
Buckinghamia celsissima  
Caesalpinia ferrea  
Casuarina cunninghamii  
Casuarina glauca  
Corymbia (Eucalyptus) intermedia  
Corymbia (Eucalyptus) tessellaris  
Corymbia ptychocarpa  
Cupaniopsis anacardoides  
Elaeocarpus obovatus  
Elaeocarpus reticulatus "Prima Donna"  
Eucalyptus "Brilliant Orange"  
Eucalyptus "Summer Beauty" Pink  
Eucalyptus "Summer Red"  
Eucalyptus citriodora  
Eucalyptus crebra

Plunket mallee  
Spotted Gum  
Tallowood  
Grey Gum  
Orange Gum  
Moreton Bay Fig  
Crows Ash  
Rose Silkwood  
Yellowwood  
White Oak  
Silky Oak  
Tulipwood  
Native Frangipani  
Brush Box  
Weeping Paperbark  
Flaxed Leaf paperbark  
Broad-Leafed Paperbark  
Yellow Poinciana  
Scrub Cherry  
Water gum  
Weeping myrtle  
Golden Penda

Eucalyptus curtisii  
Eucalyptus maculata  
Eucalyptus microcorys  
Eucalyptus propinqua  
Eucalyptus seeana  
Ficus macrophylla  
Flindersia Australis  
Flindersia pimenteliana  
Flindersia xanthoxyla  
Grevillea baileyana  
Grevillea robusta  
Harpulia pendula  
Hymenosporum flavum  
Lophostemon confertus  
Melaleuca leucadendron fine leaf  
Melaleuca linarifolia  
Melaleuca quinquenervia  
Peltophorum pterocarpum  
Syzygium australe  
Tristaniopsis laurina  
Waterhousia floribunda  
Xanthostemon chrysanthus

# glossary of terms

**Articulation** refers to the distribution and variation of elements in a building facade to create visual interest and character. Articulation may be achieved through incorporating building elements such as balconies, verandahs, pergolas, varying setbacks, window shades, awnings and feature walls in combination with a variety of building finishes, textures, and materials.

**Brick Build Up construction** refers to where the external walls of the house act as the retaining so that the concrete slab is one level and the external walls are extended to meet natural ground level. This type of construction reduces the external retaining wall requirement as most of the retaining is contained within the house construction.

**Elevated construction** is defined as floor structures which are suspended off the ground and are supported by either posts or, in extreme cases, poles. This form of construction offers design flexibility as the level of the floor is dictated by the height of the posts, and not by the slope.

**Eaves** are the portion of a roof that overhangs the external wall of the house.

A **Fascia** is a flat horizontal board used to conceal the end of roof rafters.

The **Front Building Wall** is measured as the main front wall of the home. It excludes eaves, awnings, verandahs, balconies, porches, entry or shade structures.

A **garage** is defined as a roofed car accommodation area that is fully enclosed on all sides including the street front.

**Natural surface level (NSL)** is defined as the ground level of your block at the time of registration.

**Outermost projection (OMP)** is defined as the outermost projection of any part of a building or structure, in the case of a roof the outside face of a fascia, but does not include retractable blinds, fixed screens, rainwater fittings or ornamental attachments.

A **Porch** is a covered platform usually having a separate roof structure at an entrance to a building. If the roof structure is supported by columns it is commonly referred to as a **Portico**.

For corner allotments, the **Primary frontage** is defined as the streetfront elevation which contains the front door, letter box and street number to your home. The side elevation is known as the **secondary frontage**.

**Render** is a finish applied to walls to cover the bricks and mortar joints. The finish of render is commonly smooth, but may be textured if desired, as long as mortar joints and the brick or masonry profile is not visible.

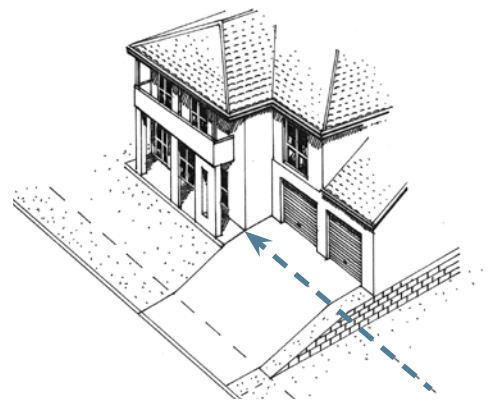
**Site coverage** refers to the total area of all ground floor portions of your house excluding the area under the eaves.

**Split Slab construction** involves providing a step in the slab of minimum height 360mm. Careful consideration is required for locating an appropriate place to step the slab, this is dependent on the slope, internal room arrangement and the roof design of the home.

A **Skillion roof** is a single sloping roof without a ridge or a peak.



Building Articulation



Front Building Wall



Primary Elevation



Skillion Roof

# application form

Please detach this form and complete details.

|                                                              |       |    |
|--------------------------------------------------------------|-------|----|
| Lot Number:                                                  | _____ |    |
| Street Address:                                              | _____ |    |
| Village:                                                     | _____ |    |
| Plans Submitted for Preliminary Approval?<br>(Please circle) | YES   | NO |
| Date of Submission:                                          | _____ |    |

## Owner's Details

## Builder's Details

|                   |       |                       |       |
|-------------------|-------|-----------------------|-------|
| Name:             | _____ | Builder:              | _____ |
| Address:          | _____ | Contact Name:         | _____ |
|                   | _____ | Address:              | _____ |
|                   | _____ |                       | _____ |
| Contact No. Home: | _____ | Contact No. Business: | _____ |
| Business:         | _____ | Fax:                  | _____ |
| Fax:              | _____ |                       | _____ |
| Email:            | _____ | Email:                | _____ |

- |                                                          |                          |
|----------------------------------------------------------|--------------------------|
|                                                          | YES                      |
| 1. Site Plan showing contours and platform levels in AHD | <input type="checkbox"/> |
| 2. Floor Plans                                           | <input type="checkbox"/> |
| 3. Area Schedules                                        | <input type="checkbox"/> |
| 4. Setback Dimensions                                    | <input type="checkbox"/> |
| 5. Elevations including natural ground lines.            | <input type="checkbox"/> |
| 6. Cross Sections                                        | <input type="checkbox"/> |
| 7. Earthworks Plan showing extent of cut and fill        | <input type="checkbox"/> |
| 8. Retaining walls location and height                   | <input type="checkbox"/> |
| 9. Fencing location and height                           | <input type="checkbox"/> |
| 10. Driveway details and materials                       | <input type="checkbox"/> |
| 11. Landscape Plan                                       | <input type="checkbox"/> |

**External Materials / Colours** (to be supplied to Delfin Springfield Lakes prior to construction commencing)

| Element                  | Manufacturer (eg. Boral) | Colour Name (eg. Ferntree) |
|--------------------------|--------------------------|----------------------------|
| Roof                     | _____                    | _____                      |
| Gutters                  | _____                    | _____                      |
| Facias                   | _____                    | _____                      |
| Downpipes                | _____                    | _____                      |
| Walls / Brick            | _____                    | _____                      |
| Window Finishes / Colour | _____                    | _____                      |
| Garage Door              | _____                    | _____                      |
| Driveway                 | _____                    | _____                      |

I/we the owner/builder of Lot \_\_\_\_\_ in Waterside at The Promenade at Springfield Lakes acknowledge that I/we have read and understand the Waterside at The Promenade Building Covenant requirements.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

THIS PAGE HAS BEEN INTENTIONALLY LEFT BLANK

## The Delfin Advantage

Delfin is committed to creating special places where life is full of possibilities.

Where thoughtful planning enriches lives through choices for education, for working, and for healthy relaxation.

Where quality living and housing choice give you every opportunity to live your dreams.

Where people are inspired by a sense of community, and are uplifted and invigorated by the beauty we create.

We take a long-term view because our vision is for places that will be as enriching and beautiful in the future as they are today.

While it is easy to talk about what we do, we feel it's better to be judged by what we have done.

In truth if it's what we believe, it's what we do.



### Springfield LAKES

Springfield Lakes Sales & Information Centre  
Springfield Lakes Boulevard, Springfield Lakes  
Phone: (07) 3280 2222  
Fax: (07) 3280 2286  
[www.springfieldlakes.com.au](http://www.springfieldlakes.com.au)